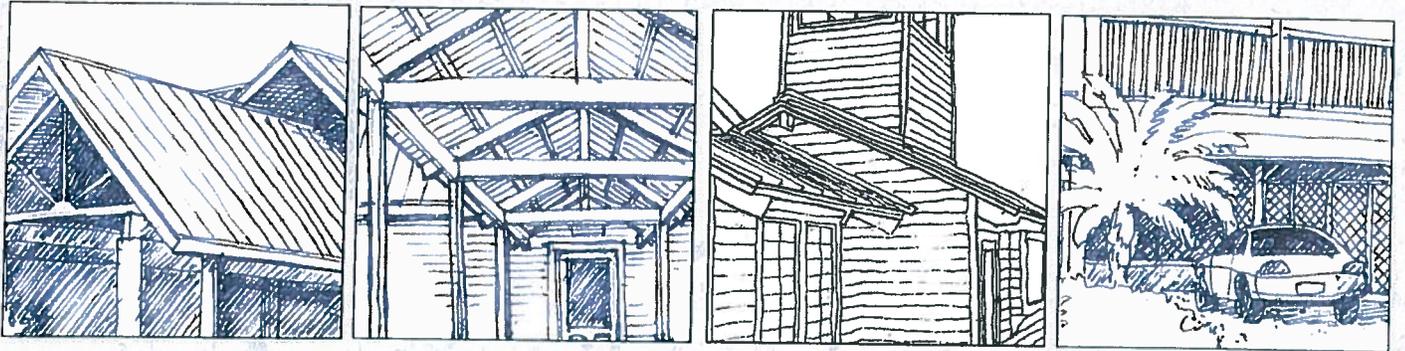


EXHIBIT-A

**ARCHITECTURAL and SITE PLANNING DESIGN
STANDARDS and GUIDELINES
for
TOWN CENTER GENERAL (TCG) and TOWN CENTER LIMITED (TCL)
COMMERCIAL ZONING DISTRICTS**



Planning Commission Resolution No. 08-11, June 10, 2008
City Council Resolution No. 08-080, July 15, 2008



City of Sanibel



City of Sanibel

City Council

Mick Denham, Mayor
Kevin Ruane, Vice Mayor
Carla Brooks Johnston
Jim Jennings
Peter Pappas

Planning Commission

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Planning Director

Robert J. Duffy, AICP

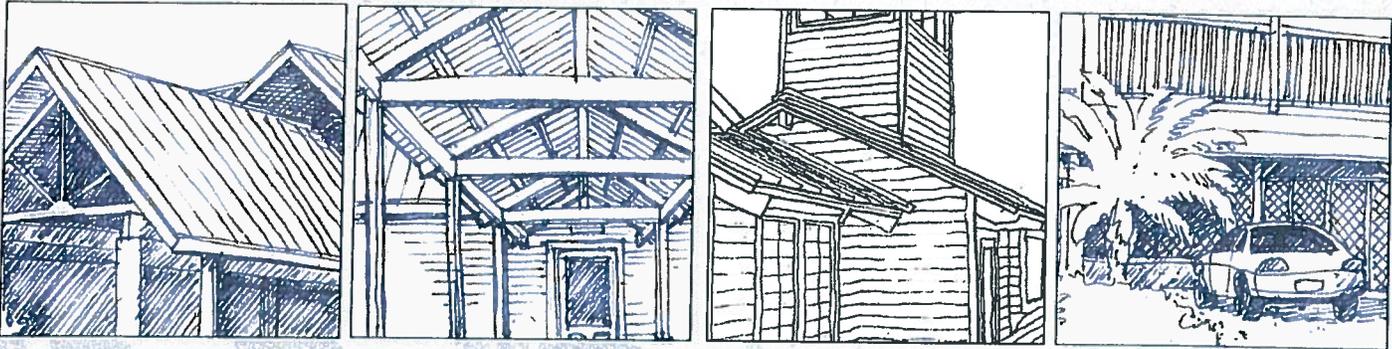
Consultant

Wallace Roberts & Todd, LLC.

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PART I: INTRODUCTION



PART I: INTRODUCTION

On July 15, 2008, Sanibel City Council adopted (Resolution No. 08-080) the following architectural and site planning design guidelines to assist with the administration and interpretation of the Land Development Code's Town Center General (TCG) and Town Center Limited (TCL) commercial zoning regulations.

The purpose of the architectural and site planning design guidelines is as follows:

- To further implement the Sanibel Plan, including the adopted Vision Statement (Part II A.) and the goals, objectives and polices for commercial development (Part II B.);
- To sustain and restore the natural and built environment that is uniquely Sanibel;
- To preserve and improve the overall design character of the community;
- To recognize and reinforce the unique physical and environmental qualities that characterize the properties within the Town Center commercial zoning districts;
- To maintain and enhance property values within the overall community and the Town Center commercial districts; and
- To provide an illustrated guide to the architectural and site planning standards for property owners and businesses considering improvements within the Town Center commercial districts.

The following figure on page 9 illustrates the boundaries for the Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts. The figure also defines the relationship between the TCG and TCL commercial districts and the underlying ecological zones defined in the Sanibel Plan and Land Development Code.

Specifically, the establishment of the Town Center architectural and site planning design guidelines is enabled by Sec. 126-1028 (g) Architectural standards and 126-1029 (f) Site planning standards of the City of Sanibel's Land Development Code. The standards and supporting guidelines apply to the following: construction of new commercial buildings; redevelopment of existing commercial buildings and sites; and major improvements to the exterior of existing commercial buildings. The guidelines do not apply to interior renovations. The reader should consult with the City of Sanibel's Planning Department regarding commercial development and improvements and the application of the Land Development Code's regulations, standards and guidelines.

The following document is organized into five sections that form a guide to assist property owners, architects and contractors with the interpretation and application of the City of Sanibel's Architectural and Site Planning Design Standards adopted as part of the City's TCG and TCL commercial zoning districts.

Part II of this document includes the Sanibel Vision Statement and excerpts from the Sanibel Plan that

PART I: INTRODUCTION

state the Goals, Objectives and Policies pertaining to commercial development. These provide an important context within which this guide has been developed.

Part III of the guide defines prominent architectural characteristics that together contribute to Sanibel's "Island Styles". While architectural styles are not mandated by the Land Development Code, this guide defines for prospective owners, designers and builders the important architectural and site planning elements that plans and development permit applications for commercial development or redevelopment should address in order to conform with the unique character and quality of Sanibel.

Part IV of the guide provides an introduction and overview of green and sustainable design features and how those features may be implemented dur-

ing commercial development or redevelopment consistent with the TCG and TCL Architectural and Site Planning Design Standards and Guidelines. The design standards and guidelines address energy efficiency, water quality and conservation, site and environmental features, construction materials and techniques and weather and climate.

Parts V and VI of the guide include text and illustrations that convey the intent of the Architectural and Site Planning Design Standards. For ease of use, the full text of the Standards, excerpted from the Land Development Code, are included on the first page of each of these sections.

It is important that the reader also review the Land Development Code, as there are other requirements that will also affect future land development and construction.



Town Center General and Town Center Limited Zoning Districts

PART II: SANIBEL PLAN



PART II: SANIBEL PLAN

The following Vision Statement and Goals, Objectives and Policies for commercial development have been adopted as part of the Sanibel Plan.

A. Vision Statement

Background

The barrier island of Sanibel comprises a wide variety of natural and altered environments. The community of Sanibel strives to sustain ecological balance and preserve and restore natural settings for residents, visitors, and wildlife. The people of Sanibel are sustained by the beauty and health of the island's natural and restored habitats, and they rely on the coordinated vigilance of residents, government, and private enterprise to protect and enhance these habitats. Over the first two decades of the community's existence as a city, a tenuous balance has been maintained between development and preservation; and between regulatory control and the rights and privileges of individuals. Government and not-for-profit institutions have helped sustain the balance by purchasing and restoring to natural conditions substantial areas of open space and threatened habitats.

Limited new development and redevelopment will occur over the next twenty years. However, growth limits and locations are well established, as are regulations to minimize harm to the natural environment and to the community's character.

The specter of rampant development has diminished as the community has matured. Nevertheless, unwanted changes are occurring; visitation increases as new "attractions" are developed; beaches and refuge

areas are becoming stressed by overuse; traffic congestion is turning to gridlock; and formerly "green" scenic corridors are becoming urbanized and commercialized. These and other conditions and trends cause residents to realize that, unless protected, their island's historic and cherished way of life is in jeopardy.

To provide a sense of direction for the future, this Vision Statement is a confirmation of the community's shared values and goals, to guide future decisions.

Sanctuary

Sanibel is and shall remain a barrier island sanctuary, one in which a diverse population lives in harmony with the island's wildlife and natural habitats. The Sanibel community must be vigilant in the protection and enhancement of its sanctuary characteristics.

The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.

The City of Sanibel will guard against and, where advisable, oppose human activities in other jurisdictions that might harm the island's sensitive habitats, including the island's surrounding aquatic ecosystems.

PART II: SANIBEL PLAN

Community

Sanibel is and shall remain a small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.

Diversity: The City of Sanibel cherishes its cultural, social, ecological, and economic diversity, and will endeavor to maintain it.

Beauty: The City of Sanibel will foster quality, harmony and beauty in all forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

Uniqueness: The City of Sanibel chooses to remain unique through a development pattern which reflects the predominance of natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

Character: The City of Sanibel chooses to preserve its rural character in its setting within an urbanizing county. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

Stewardship: In keeping with the foregoing principles, the City of Sanibel affirms a land ethic that recognizes landholding—both public and private—as a form of stewardship, involving responsibilities to the human and natural communities of the island and its surroundings, and to future generations.

Attraction

The Sanibel community recognizes that its attractiveness to visitors is due to the island's quality as sanctuary and as community. The City of Sanibel will welcome visitors who are drawn by, and are respectful of, these qualities; it will resist pressures to accommodate visitor attractions and activities that compromise these qualities.

Hierarchy of Values

This three-part statement of the community's vision of its future is a hierarchy; one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.

PART II: SANIBEL PLAN

B. Goals, Objectives and Policies for Commercial Development:

PLAN FOR COMMERCIAL DEVELOPMENT:

The City desires to retain and improve the historical and visual character of the Commercial Sector.

Implement development standards which assure commercial structures do not employ what is often referred to as "cookie-cutter" architecture and do employ architecture that contributes to the maintenance of historic, visual, scenic and architectural character of the Commercial Sector of the community.

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

Commercial buildings shall not appear monolithic.

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses.

GOAL STATEMENT A:

The three-part statement of the community's vision of its future is a hierarchy; one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.

Objective A1:

Sanibel is and shall remain a small town.

Policy A1.1. The City of Sanibel will foster quality, harmony and beauty in all forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

Policy A1.2. The City of Sanibel chooses to remain unique through a development pattern that reflects the predominance of natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

Policy A1.3. The City of Sanibel chooses to preserve its rural character. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

PART III: ISLAND STYLES



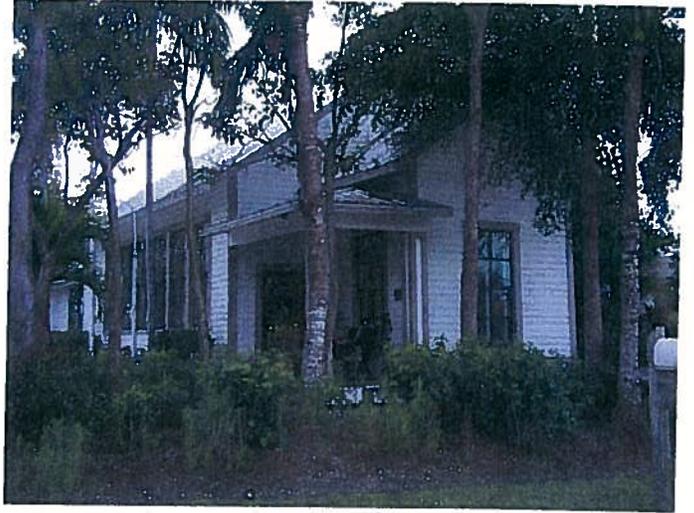
PART III: ISLAND STYLES

B. Island style

While there currently exists a diversity of building styles represented among commercial buildings within the TCG and TCL commercial zoning districts, there are some buildings that more successfully represent the “community aesthetic,” or what could be thought of as Sanibel’s “Island Style.” A review of the more successful examples results in the identification of four subcategories, or sub-styles, that together contribute to Sanibel’s “Island Style.” The sub-styles identified include Old Florida, Island Eclectic, Island Contemporary and Caribbean.

Conformance with specific architectural styles is not required by Sanibel’s Land Development Code. However they are illustrative of the overall characteristics that are considered compatible with the term “Island Style”, and inform the illustrations of the architectural and site design standards and guidelines included in this document. In keeping with the islands “rural” character, the buildings are typically smaller in stature and understated in design.

An attribute of all of these styles is their compatibility with issues of “sustainability,” or “green architecture” (See Part IV Green and Sustainable Design). For example, pronounced roof overhangs shade walls and open spaces below, providing natural cooling; sloped roofs perform better in hurricanes and can accommodate a natural ventilation space between the hot sun and living spaces below, and light colored roofs reflect the sun’s heat. When these building elements are combined with native plant species for landscaping, buildings and nature co-exist in harmony.



A number of buildings on Sanibel represent the “Old Florida” style.

PART III: ISLAND STYLES

Old Florida

The “Old Florida” style is best exemplified by a number of commercial buildings along Periwinkle Way, including buildings designated as local historic landmarks within the Historic Sanibel Village. These buildings were generally constructed of wood and designed with substantial operable windows, overhangs and porches to take advantage of island breezes for natural cooling. Character-defining elements of this style include:

- Wood frame construction with horizontal lap siding.
- Metal standing-seam, hip and gable roofs with slopes generally in the range of 3:12 to 12:12.
- Operable double hung windows with functioning shutters.
- Substantial roof overhangs with exposed rafters.
- Porches with slender, simple columns.
- Railings are made of wood with slender turned or square spindles.
- Color scheme is usually white which helps to reflect the sun’s heat.



Building at the Historic Sanibel Village.



Commercial building reflecting the Old Florida Style.



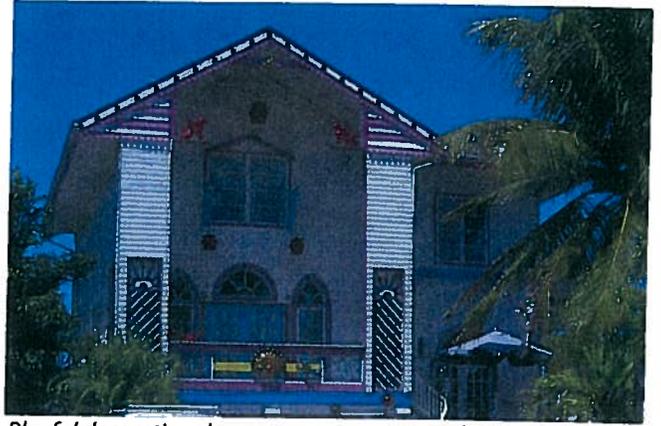
Building on Periwinkle Way reflecting the Old Florida Style.

PART III: ISLAND STYLES

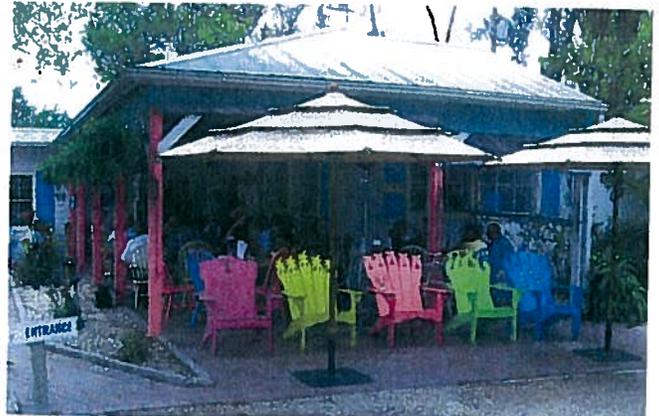
Island Eclectic

The Island Eclectic style can be seen as an embellished, more playful version of the Old Florida style. The style reflects the casual lifestyle and natural setting of the island. It is colorful and playful, featuring whimsical decorative elements that often incorporate a seaside, beach theme. Character-defining elements include the following:

- Wood frame construction with horizontal lap siding.
- Playful, decorative elements used in railings, entrance features, and architectural details.
- Hip and gable roofs with slopes generally in the range of 3:12 to 12:12. Roof materials include standing seam and asphalt shingle.
- Porches with slender columns, sometimes with decorative elements included.
- Railings can be similar to Old Florida style, or more decorative incorporating various island motifs (e.g., sun, beach, tropical flora).
- Operable double hung windows.
- Multi-colored, bright paint schemes.



Playful decorative elements are one aspect of Eclectic Island Style.



Porches and decorative furniture reflect the Island Eclectic Style.



Railings can incorporate decorative elements.

PART III: ISLAND STYLES

Island Contemporary

The Island Contemporary style is a more modern variation of Florida vernacular architecture. The style incorporates some elements of the old style, particularly regarding roof forms, but utilizes more modern construction techniques including concrete and steel structural frames, simple wood elements and more modern window treatments. This style also emphasizes environmental design features that take advantage of the climate and natural landscape features. Character-defining elements include:

- Modern construction materials and techniques including use of concrete, steel and wood with more modern detailing.
- Hip and gable roofs with low to moderate roof slopes. Roof materials include standing seam and asphalt shingles.
- More variations in window types which can include larger glass areas within, casement, awning, jalousie, and double hung windows.
- Environmentally sensitive design elements such as porches, shading devices, operable windows and solar panels.
- Railings are of a simple, more modern design in wood or metal.
- Color schemes are generally more muted, featuring warm grays, subdued greens and earth tones.



Modern Construction materials are typical of the Island Contemporary Style.



Subdued color schemes are generally part of the Island Contemporary Style.



More variation in window types characterize the Island Contemporary Style.

PART III: ISLAND STYLES

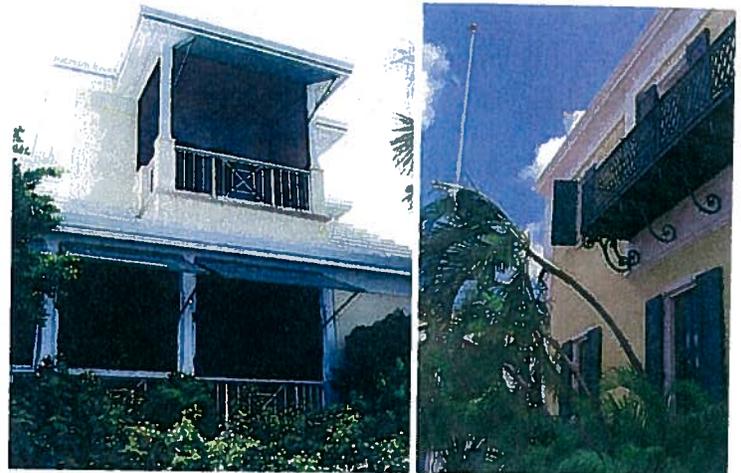
Caribbean Style

The Caribbean style is indicative of architecture found in many places, including South Florida, the Caribbean and Mediterranean countries. In form and scale it is similar to the other identified island styles, but has other attributes that differentiate it from the "Florida styles." Character-defining elements include:

- Exterior walls can be stucco or painted wood siding.
- Functioning shutters, which can be "Bahama" style (hinged in the top), or traditional vertically hinged units.
- Roof forms can be hip or gable, with metal, shingle or concrete tile roof coverings.
- Railings are light in appearance and can be wood or metal.
- Typically features wood and steel columns of slender design and simple articulation. Concrete columns with stucco finish can also be utilized on the first floor of the structure.
- Color schemes feature pastel colored walls, usually with white trim.

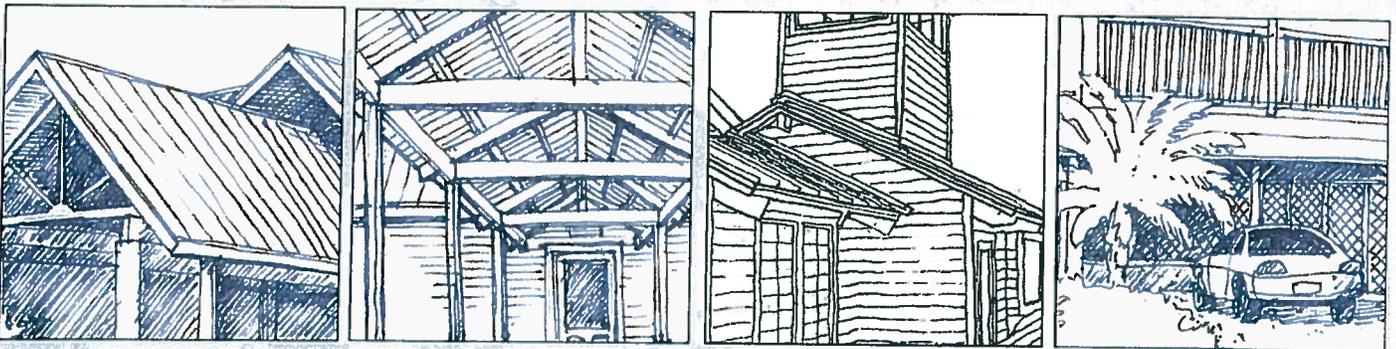


Bahamian shutters and clean stucco walls identify the Caribbean Style.



Various roof forms, along with light metal railings evoke the Caribbean Style.

PART IV: GREEN AND SUSTAINABLE DESIGN



PART IV: GREEN AND SUSTAINABLE DESIGN

Green and sustainable design is a principal that is directly aligned with Sanibel's Vision Statement and the Sanibel Plan, which emphasizes that new development "minimize harm to the natural environment and to the community's character", and Sanibel's intent to "remain a barrier island sanctuary, one in which a diverse population lives in harmony with the island's wildlife and natural habitats."

What is sustainable or "green" building?

Green building is a term often used today to describe development that incorporates environmentally-based design features that improve the relative sustainability of a particular project. Green building principles can be applied to new construction— including commercial, institutional and residential as well as renovations.

Communities in Florida and across the country are beginning to apply green design principles in new construction. One way to accomplish this is to use one of the several established sets of design standards for measuring "green" building. The following are references to several accepted standards that the reader may consult for more information regarding specific design features and their application.

United States Green Building Council LEED Standard.

Foremost among the various standards today is the Leadership in Energy and Environmental Design (LEED) standard developed by the United States Green Building Council. Different LEED standards

have been developed for various type of construction including: new construction, existing buildings, commercial interiors, schools etc. Different levels of certification are offered.

See www.usgbc.org for more information regarding rating systems, levels of sustainability and requirements for certification.

Florida Green Building Coalition

A second rating system, based closely on the LEED standards, but specially adapted for construction in Florida, was prepared by the Florida Green Building Coalition (FGBC). As with LEED, the FGBC standards have been adapted to specific types of buildings including "Green Commercial Building Design Standards."

See www.floridagreenbuilding.org for more information regarding rating systems, levels of sustainability and requirements for certification.

American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Guidelines

Other resources include the International Code Council's ASHRAE Greenguide: The Design Construction, and Operation of Sustainable Buildings, 2nd Edition.

The ASHRAE GreenGuide provides guidance to designers of heating ventilation and air conditioning systems and also covers green design techniques applicable to related technical disciplines, such as plumbing and lighting.

Available for purchase at: <https://www.ashrae.org>

PART IV: GREEN AND SUSTAINABLE DESIGN

Building owners may seek to have their projects officially certified as “green” under one of the accepted rating systems, or alternatively may elect to design and develop new and renovated construction that adheres to the design standards, and not incur the additional costs related to obtaining official certification.

How can green building be applied to commercial design and development on Sanibel Island?

The preceding section provides a brief introduction to green and sustainable design principles and several national and state resources for further consideration. The TCG and TCL architectural design and site planning standards and guidelines have been developed consistent with the following five green design categories and potential design features listed on the following pages. Readers are encouraged to incorporate these or others that may be identified in the referenced design standards and guidelines for new construction and renovations within the TCG and TCL commercial districts. Doing so will directly support the Sanibel Vision Statement and the Sanibel Plan.

PART IV: GREEN AND SUSTAINABLE DESIGN

Energy Efficiency – Possible design features include: increased levels of energy efficiency, use of renewable energy (using natural resources that may be naturally replenished) and green power (sources of energy which are considered environmentally friendly and non-polluting), and improved performance of mechanical equipment.

On Sanibel, using a building orientation (for new construction) that minimizes solar heat gain, use of roof overhangs for shade and use of solar power are several ways to begin to address energy efficiency and conservation that make sense in the local climate.

Water Quality and Conservation – Possible design features include: increased utilization of drought tolerant landscape elements, limited or efficient irrigation, reduction in the generation of wastewater, and maximizing water efficiency in the building

On Sanibel, using drought resistant vegetation and avoiding the use of irrigation are two key elements for consideration. Additional elements might include installing a water storage tank or cistern to accumulate water for reuse in the dry season, and installing water efficient plumbing fixtures.



Solar panel



Roof overhang



Cistern



Drought tolerant landscape

PART IV: GREEN AND SUSTAINABLE DESIGN

Site and Environmental Features – Potential design features include: reducing the environmental impact of the building location on the site, providing erosion and sedimentation control, preserving habitat and natural resources, reducing automobile use by providing facilities for bicycle storage, providing alternative fuel vehicles or refueling stations, limiting site disturbance and clearing and reducing development footprint, implementing a stormwater management plan that reduces runoff and removes suspended solids, reducing heat island effects and improving night sky access by limiting light spillover onto adjacent properties

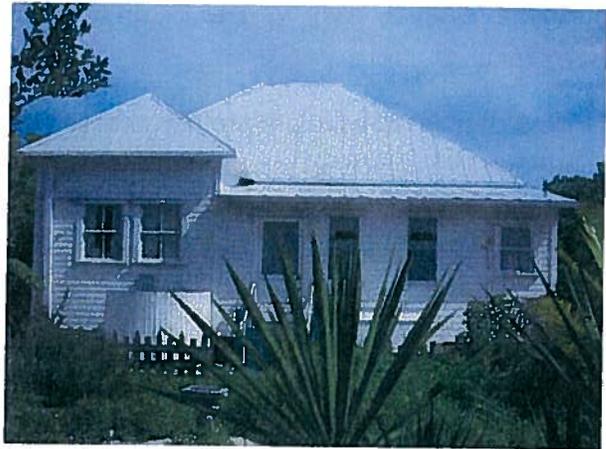
On Sanibel the reduction of impervious pavement and use of stormwater management techniques such as bio-swales are important opportunities for reducing runoff. Use of light colored roofs and shaded parking areas can help reduce the heat island effects of development. Provision of bicycle parking also fits well with the Sanibel shared use path system.



Bio-swale



Reduction of impervious pavement



Light colored metal roof



Reduced Heat Islands - Covered Parking

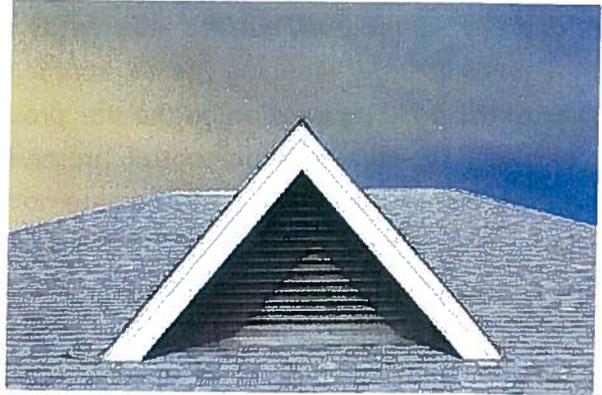
PART IV: GREEN AND SUSTAINABLE DESIGN

Construction Materials and Techniques - Possible design features include: providing carbon monoxide monitoring, providing increased ventilation, implementing an indoor air quality management plan, reducing indoor air contamination by using materials with low levels of volatile organic compounds and other potentially hazardous chemicals, providing a high level of control lighting and ventilation by individual building occupants

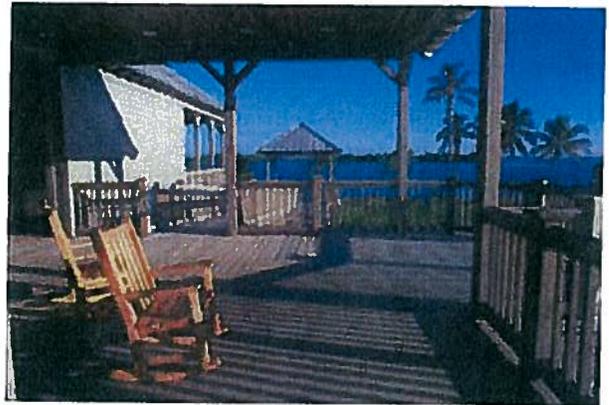
On Sanibel, maximizing natural ventilation and daylighting are relatively easy ways to begin to address these criteria.

Possible design features related to material selection and use include: recycling construction waste, reusing building materials and products, using building products that incorporate recycled materials, providing adaptable/reusable interior partitions, providing flooring that will be recycled, using materials that are manufactured locally, using materials that are rapidly renewable (certain types of wood for example), using wood that is certified by the Forest Stewardship Council, using exterior finish materials that are durable in the local climate, and using low-maintenance interior finishes.

On Sanibel, recycling is an obvious benefit which may help reduce the amount of waste material that has to be transported off-island. In addition the use of durable exterior materials will save money in the long term by reducing the maintenance and replacement costs associated with less durable materials.



Increased ventilation



Natural daylighting provide healthy environment



Native landscape

PART IV: GREEN AND SUSTAINABLE DESIGN

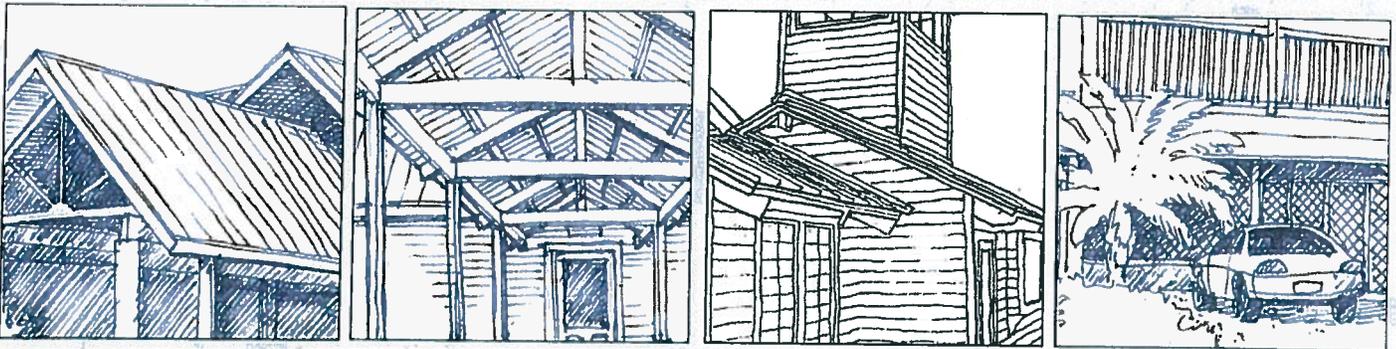
Weather and Climate – Potential design features include: increasing the structural integrity of the building during high wind conditions, using wildfire –resistant exterior finishes, increasing termite resistance of the construction, or using termite resistant materials.

On Sanibel, hurricane resistance is a key design criteria for all construction. Providing for wind resistance and protection for openings are critical aspects of hurricane resistant design that must be considered for all buildings independent of other renovation or construction to ensure compliance with Chapter 16 of the Florida Building Code (2004).



Recycled and composite materials provide improved durability in the Sanibel climate

PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES



SANIBEL'S LAND DEVELOPMENT CODE - SECTION 126-1028: ARCHITECTURAL STANDARDS

The following complete text of Section 126-1028 is included for reference.

Reference Land Development Code

Section 126-1028 (a.)

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

Section 126-1028 (b.)

Commercial buildings shall not appear monolithic.

Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

Section 126-1028 (d.)

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:

1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.

Section 126-1028 (e.)

Building entryways and windows shall be located so as not to permit noise, light and other impacts on the quiet and private enjoyment of adjacent residential uses.

Section 126-1028 (f.)

All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design

PART V: ARCHITECTURAL STANDARDS AND DESIGN GUIDELINES

The following guidelines articulate the architectural design standards included in the Land Development Code.

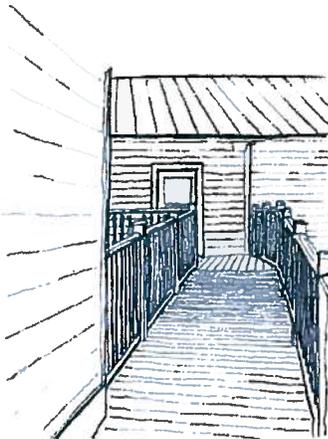
Design Guidelines

Reference Land Development Code

Breezeways, courtyards, and decks can be used to break up building mass.

Section 126-1028 (a.)

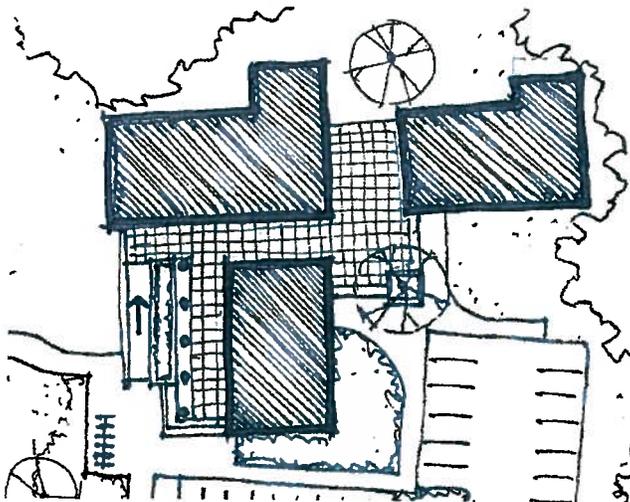
Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.



Wood decks can connect and/or separate building elements.



Breezeway - a roofed open passage can connect two buildings.



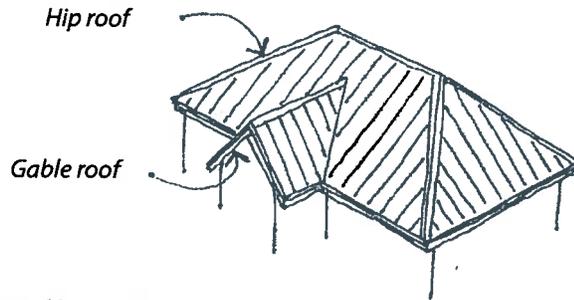
A group of small buildings clustered around a courtyard ("Pod style") are a desirable alternative to larger buildings.

PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines

Reference Land Development Code

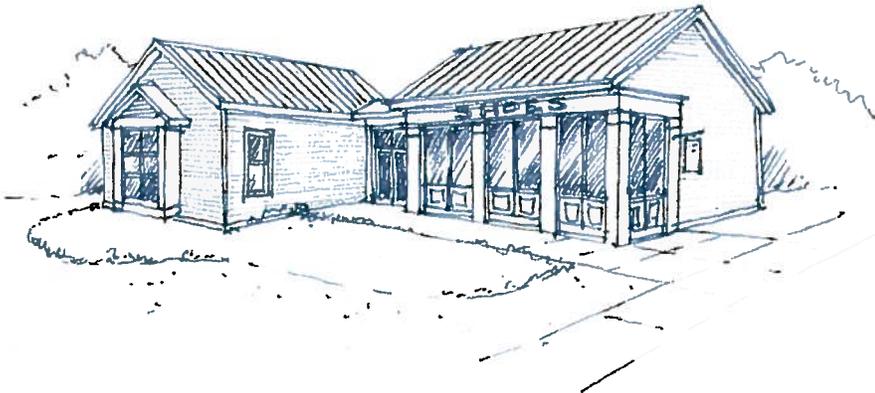
Varying roof forms break down building mass and add visual interest. Low slope roofs (i.e., "flat" roofs) with parapets may be used if they are combined with sloped roof elements.



Hip and gable roof forms with traditional slopes reduce building scale.



Combination of shed and gable roof forms provide variety and break up building massing.



Variation in roof forms breaks down building scale.

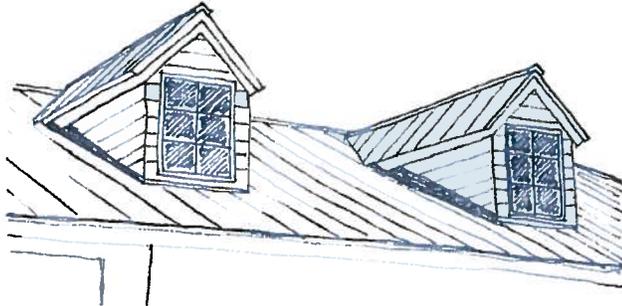
Section 126-1028 (a.)

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

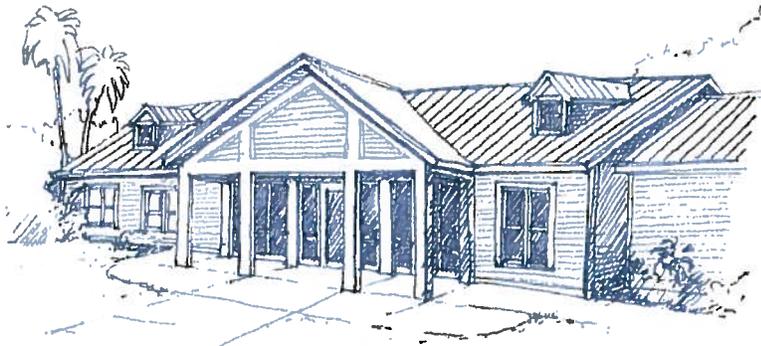
PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines

Reference Land Development Code



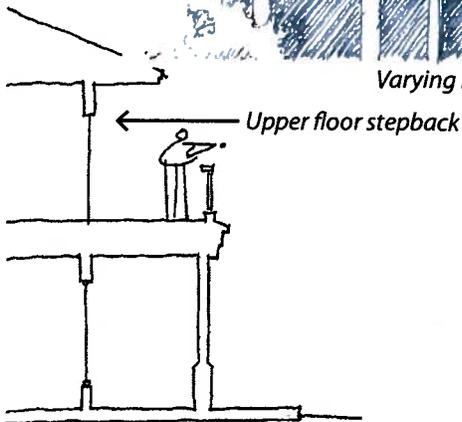
Dormers can reduce monolithic appearance.



Varying facade planes and roof forms reduce building scale.



Varying roof forms reduce monolithic appearance.



Retail/Residential above Porch To public street

Section 126-1028 (b.)

Commercial buildings shall not appear monolithic.

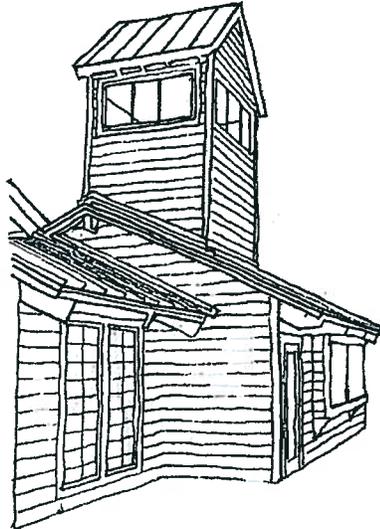
PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines

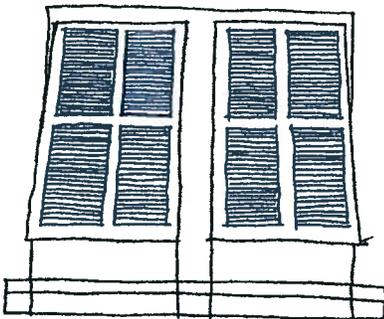
Reference Land Development Code



Porch featuring slender simple columns and light wood railings contribute to texture and visual interest.



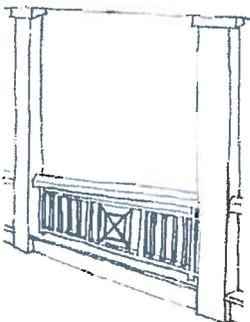
A small tower element adds vertical interest.



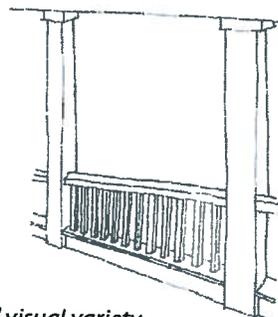
Shutters add shadow and detailed visual interest.



A cupola can add visual interest to a building roof.



Varied railing patterns and colonnades add visual variety.



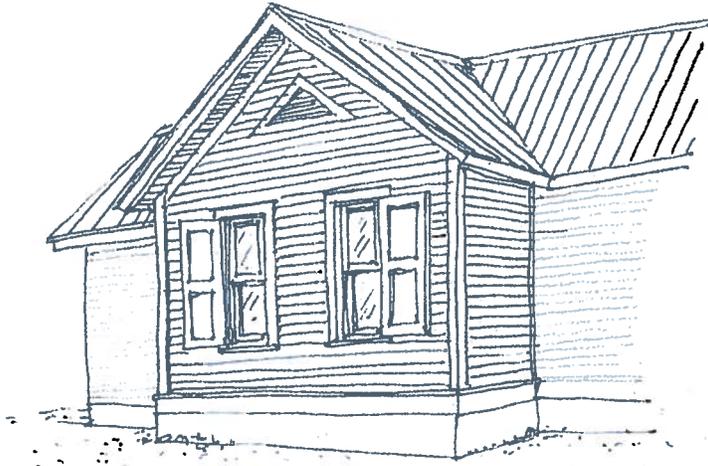
Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: **visual interest from the perspective of the pedestrian, bicyclist and motorist**; appear to reduce building mass; and recognize and respect local character and site conditions.

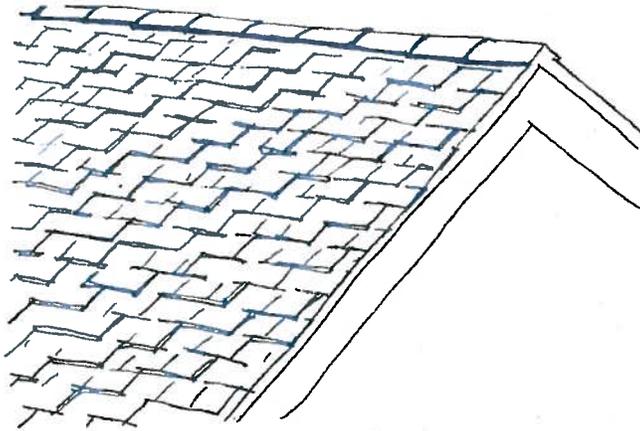
PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines

Reference Land Development Code



Wood siding has a strong pattern that provides detail, shadow lines and visual interest.



Dimensional asphalt shingles with depth and texture provide more visual interest than standard flat shingles.

Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: **visual interest from the perspective of the pedestrian, bicyclist and motorist;** appear to reduce building mass; and recognize and respect local character and site conditions.

PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

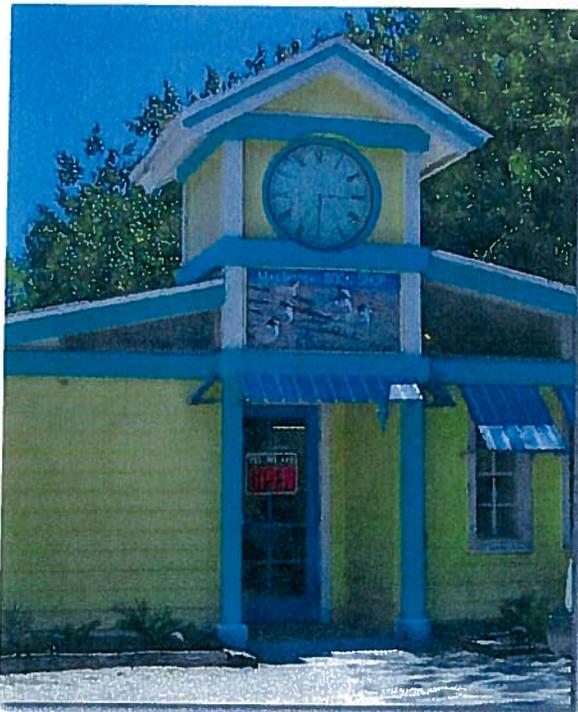
Design Guidelines

Reference Land Development Code



Old Florida

A standing seam metal roof is a traditional material and reflects intense summer heat.



Island Eclectic

Playful decorative elements and a multi-colored paint scheme reflects the Island Eclectic Style

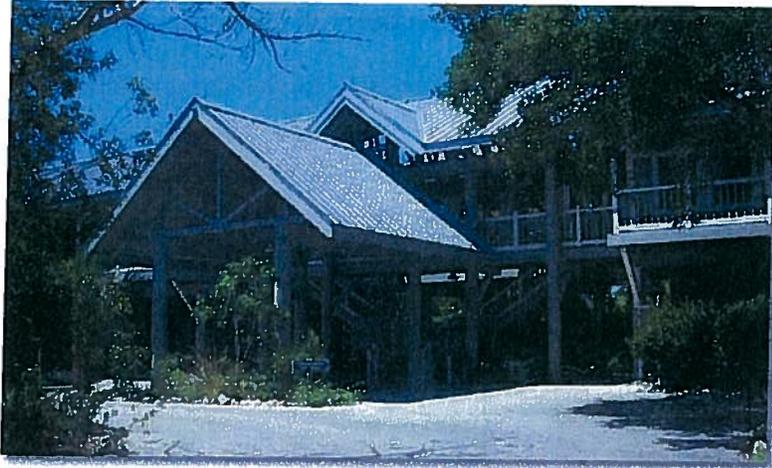
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PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines

Reference Land Development Code



Island Contemporary
Contemporary roof design and materials reflect traditional metal roofs



Caribbean
Light, metal railings, pastel colors and stucco walls and cornice reflect the Caribbean style

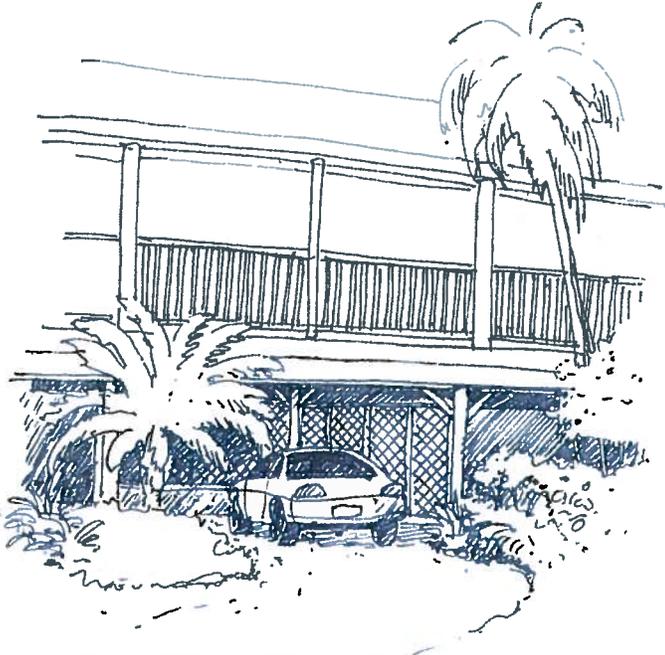
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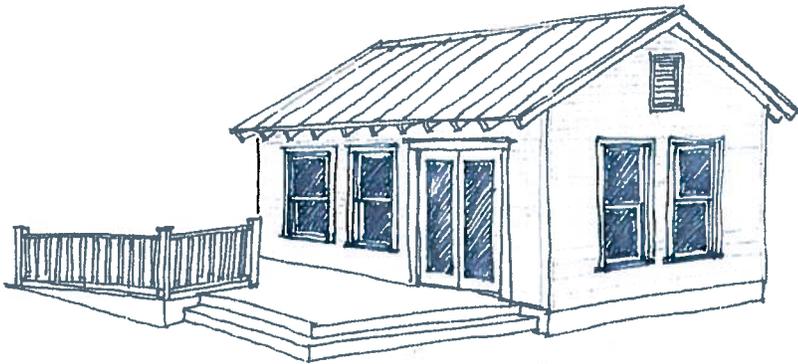
PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines

Reference Land Development Code



Parking located on the ground floor of elevated buildings should be screened from the street with landscaping, lattice, or other architectural treatments. Generous landscaping also reduces the apparent scale of a 2-story structure.



When possible it is preferable that commercial buildings be designed to be as close to surrounding ground level as possible. Such construction must also comply with flood criteria and building code.

Section 126-1028 (c)

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

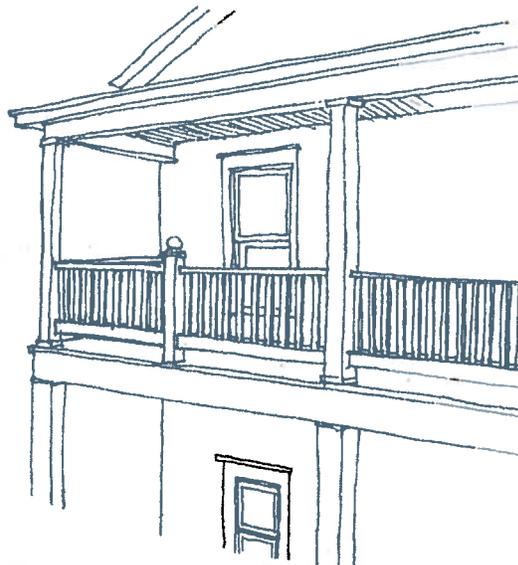
PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines

Reference Land Development Code



Use architectural elements to break up building mass and create a strong entry



Porches relate to human scale, provide cover from sun and rain and provide architectural interest

Section 126-1028 (d.)

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:

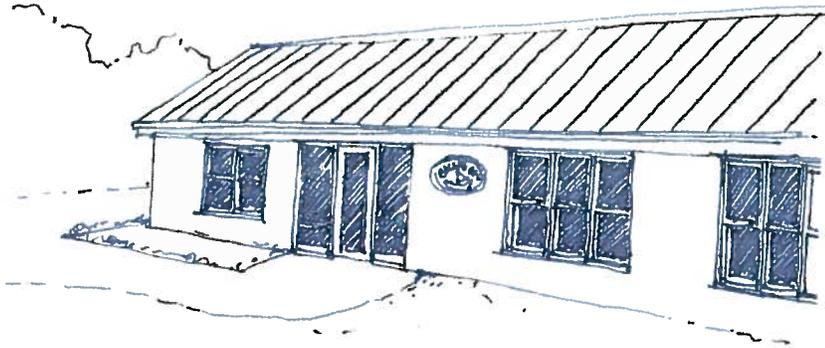
1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.

PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines

Reference Land Development Code

Break up facades to relate to human scale



This facade lacks variety and articulation.



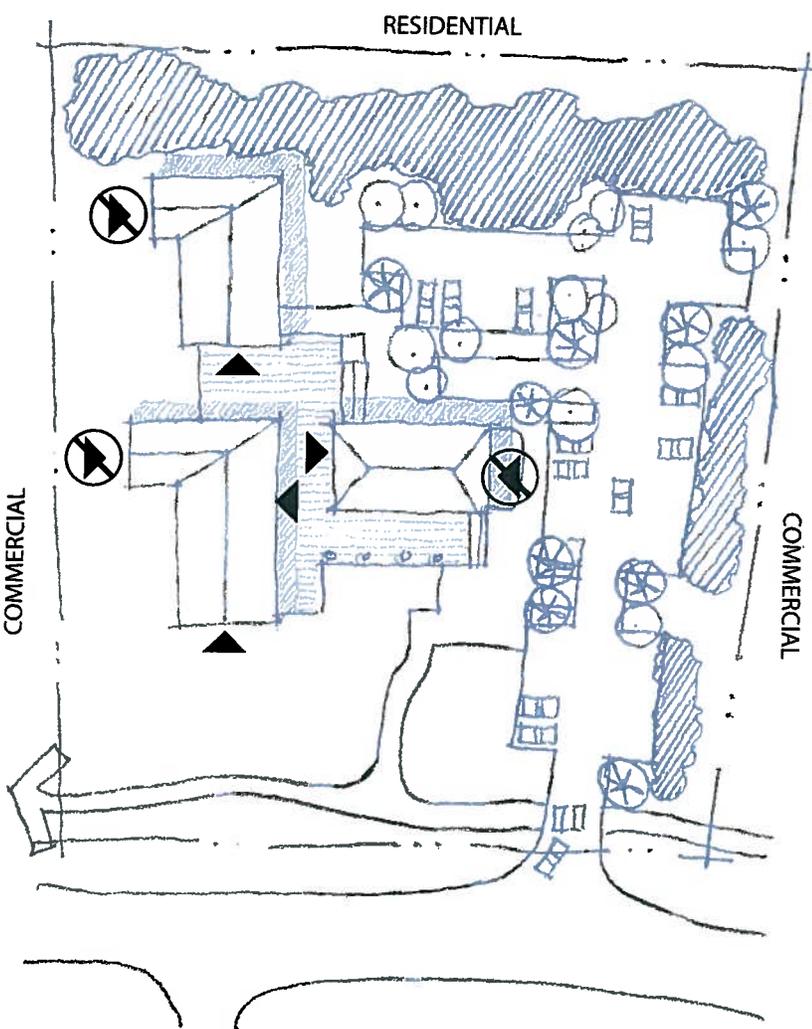
This facade incorporates varying wall and roof planes, adding variety and visual interest.

Section 126-1028 (d.)

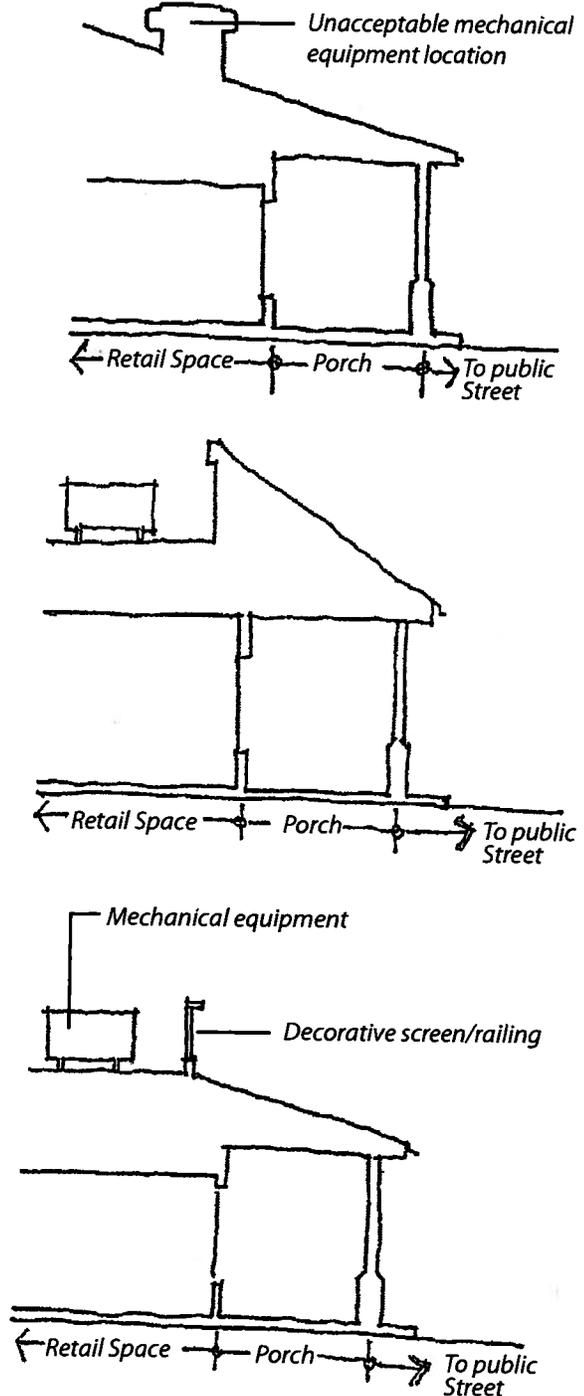
Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:

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3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.

PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines	Reference Land Development Code
 <p data-bbox="146 1512 958 1596"><i>Do not orient entries towards adjacent residential uses. Entries should orient to the public right-of-way or toward interior courtyards or decks.</i></p>	<p data-bbox="1039 378 1315 420">Section 126-1028 (e.)</p> <p data-bbox="1039 441 1526 651">Building entryways and windows shall be located so as not to permit noise, light and other impacts on the quiet and private enjoyment of adjacent residential uses.</p>

PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

Design Guidelines	Reference Land Development Code
<p data-bbox="406 378 966 420"><i>Use roof forms or screens to shield roof-top equipment</i></p>  <p data-bbox="657 430 933 493"><i>Unacceptable mechanical equipment location</i></p> <p data-bbox="454 766 592 798"><i>Retail Space</i></p> <p data-bbox="657 766 722 798"><i>Porch</i></p> <p data-bbox="812 766 917 829"><i>To public Street</i></p> <p data-bbox="454 1228 592 1260"><i>Retail Space</i></p> <p data-bbox="657 1228 722 1260"><i>Porch</i></p> <p data-bbox="812 1228 933 1291"><i>To public Street</i></p> <p data-bbox="454 1323 706 1354"><i>Mechanical equipment</i></p> <p data-bbox="633 1438 901 1470"><i>Decorative screen/railing</i></p> <p data-bbox="454 1753 592 1785"><i>Retail Space</i></p> <p data-bbox="657 1753 722 1785"><i>Porch</i></p> <p data-bbox="812 1753 917 1816"><i>To public Street</i></p>	<p data-bbox="1039 388 1307 430">Section 126-1028 (f)</p> <p data-bbox="1039 472 1550 640">All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design.</p>

PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES



SANIBEL'S LAND DEVELOPMENT CODE - SECTION 126-1029: SITE PLANNING

The following complete text of Section 126-1029 is included for reference.

Reference Land Development Code

Section 126-1029 (a.) - Location and Design of Off-street Parking

Off-street parking spaces shall be primarily located below or at the front or side of commercial buildings. The location and design of off-street parking shall not impact adjoining residential uses, conservation land or wildlife habitat.

Section 126-1029 (b.) - Location and Design of Off-street Loading and Service Areas.

Off-street loading and service areas shall be appropriately designed, located, landscaped and screened to ensure that adjoining residential areas and environmentally sensitive land uses will not be negatively impacted.

Section 126-1029 (c.) - Site Access and Internal Circulation.

1. Multiple and independent points of ingress and egress shall be avoided when possible.
2. Unobstructed sight lines at points of ingress and egress shall be provided to ensure pedestrian, bicyclists and motorist safety.
3. When possible, bicycle and pedestrian cross access between commercial sites and developments shall be established.
4. Functional and integrated access and internal circulation for people with disabilities shall be provided.
5. Safe and efficient internal pedestrian circulation to and from on-site parking spaces shall be provided.
6. Conveniently located on-site storage areas for bicycles shall be provided.

Section 126-1029 (d.) - On-site Utilities, Equipment, Lightning, Trash Containers, Dumpsters and Service Areas and Activities.

All above ground utilities, equipment and related service facilities and operations shall be designed, located and maintained to ensure compatibility with adjoining residential areas and other environmentally sensitive land uses will not be negatively impacted.

Section 126-1029 (e.) - Landscaping, Buffering and Screening.

In addition to the vegetation buffers and parking area vegetation required for commercial uses, by Chapter 122, Article II, Division 2, courtyards and lands around buildings are to be landscaped. Specific and detailed landscape plans are required for buffering and screening adjacent residential uses from negative visual and physical impacts of the commercial land uses. Side and rear yard setbacks may have to be increased to provide adequate vegetation buffering for abutting and nearby residential land uses.

PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

The following guidelines articulate the site planning design standards included in the Land Development Code.

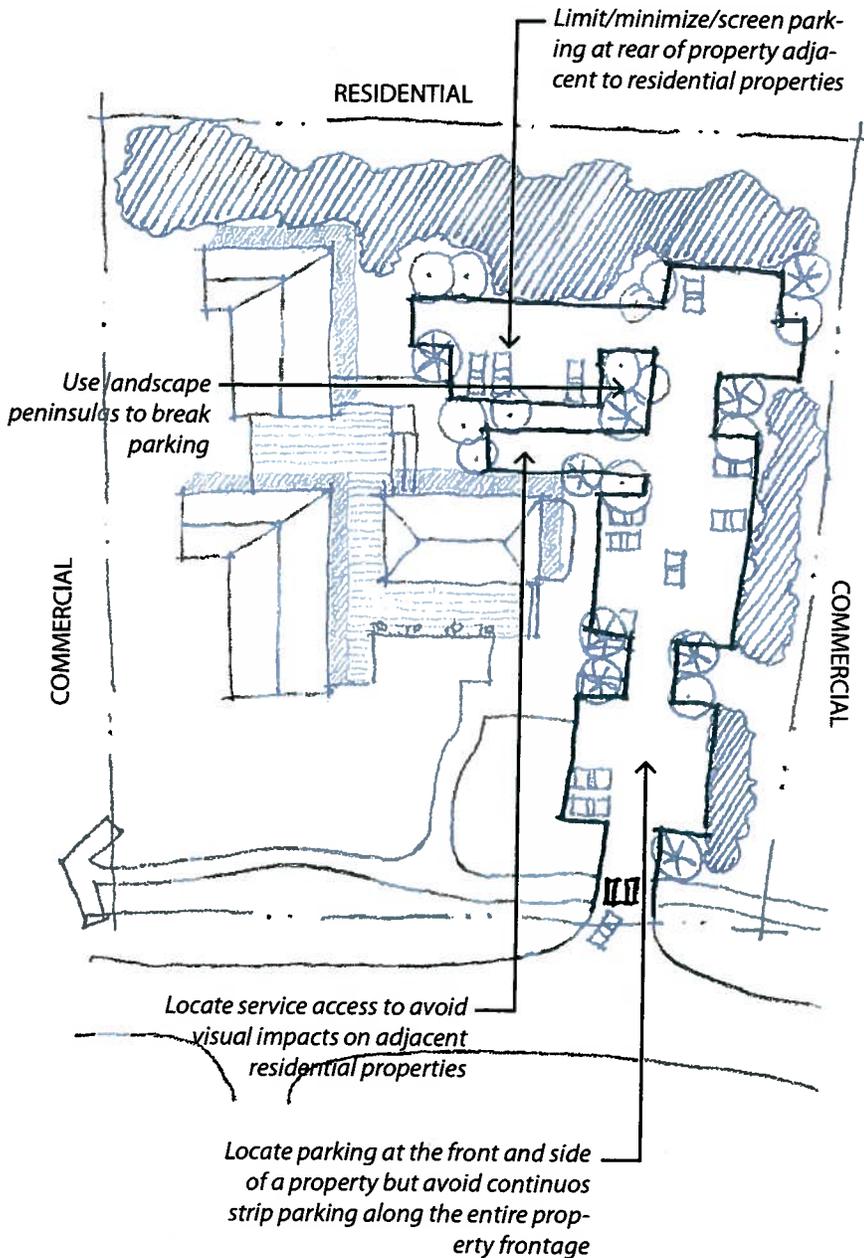
Design Guidelines

Reference Land Development Code

Locate parking in a way that is sensitive to the surrounding context including residential uses, conservation and wildlife areas, and views from the street. Interrupt large parking areas with landscape medians peninsulas or medians so that large areas of paving are minimized.

Section 126-1029 (a.) - Location and Design of Off-street Parking

Off-street parking spaces shall be primarily located below or at the front or side of commercial buildings. The location and design of off-street parking shall not impact adjoining residential uses, conservation land or wildlife habitat.



PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

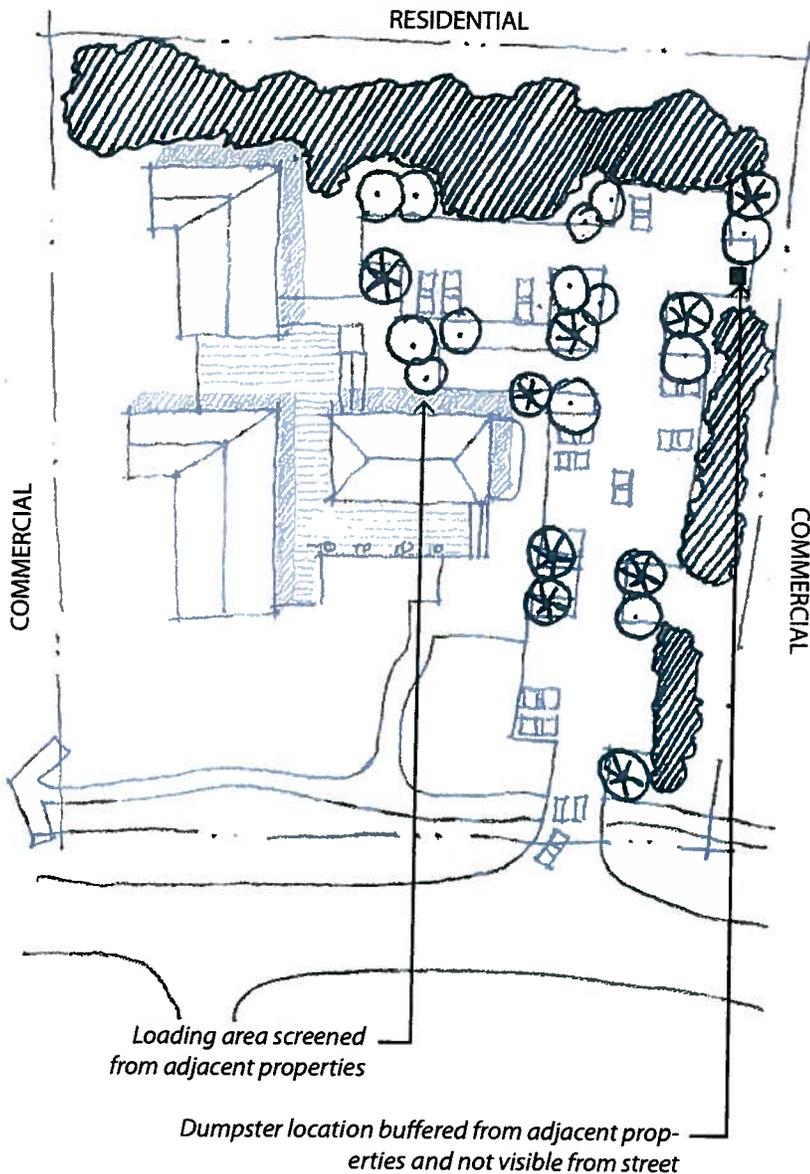
Design Guidelines

Reference Land Development Code

Enclose service areas to the greatest extent possible, especially when adjacent to residential and environmentally sensitive land uses

Section 126-1029 (b.) - Location and Design of Off-street Loading and Service Areas.

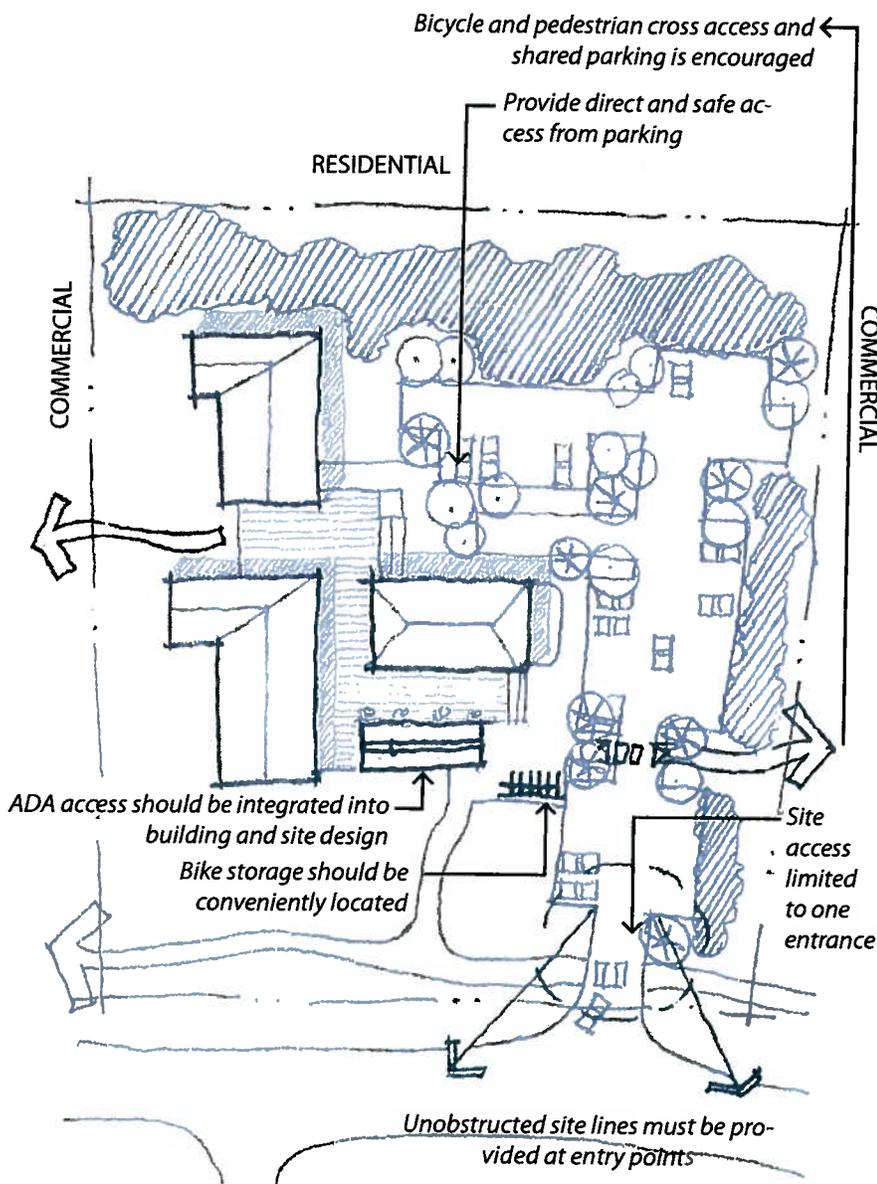
On-street loading and service areas shall be appropriately designed, located, landscaped and screened to ensure that adjoining residential areas and environmentally sensitive land uses will not be negatively impacted.



PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

Design Guidelines

Reference Land Development Code



Section 126-1029 (c.) - Site Access and Internal Circulation.

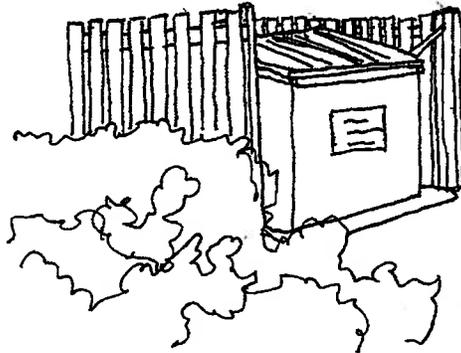
1. Multiple and independent points of ingress and egress shall be avoided when possible.
2. Unobstructed sight lines at points of ingress and egress shall be provided to ensure pedestrian, bicyclists and motorist safety.
3. When possible, bicycle and pedestrian cross access between commercial sites and developments shall be established.
4. Functional and integrated access and internal circulation for people with disabilities shall be provided.
5. Safe and efficient internal pedestrian circulation to and from on-site parking spaces shall be provided.
6. Conveniently located on-site storage areas for bicycles shall be provided.

PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

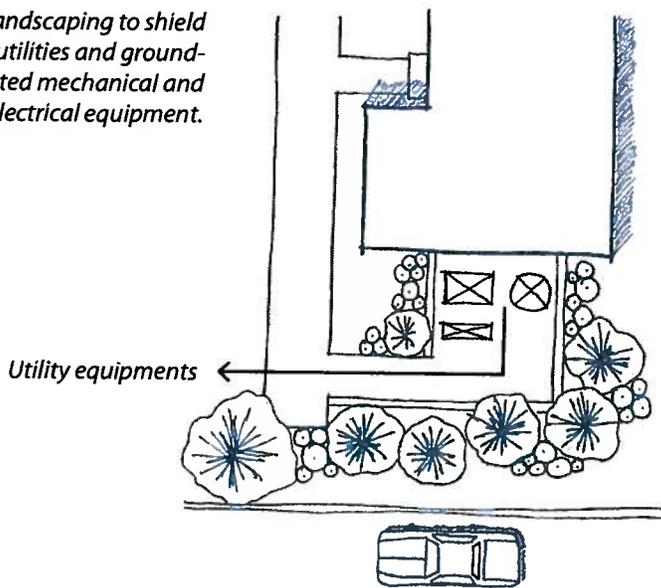
Design Guidelines

Reference Land Development Code

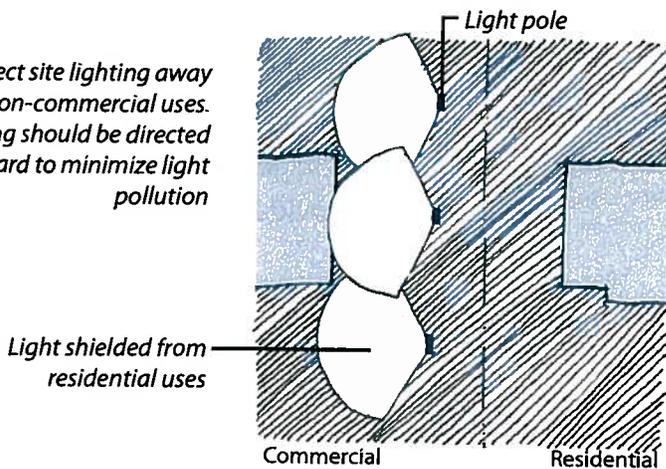
Screen dumpsters from streets and adjacent non-commercial uses



Use landscaping to shield on-site utilities and ground-mounted mechanical and electrical equipment.



Direct site lighting away from non-commercial uses. Lighting should be directed downward to minimize light pollution



Section 126-1029 (d.) - On-site Utilities, Equipment, Lightning, Trash Containers, Dumpsters and Service Areas and Activities.

All above ground utility equipment and operations should be screened from entrance drives, roads, shared use paths and interior pedestrian walkways.

PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

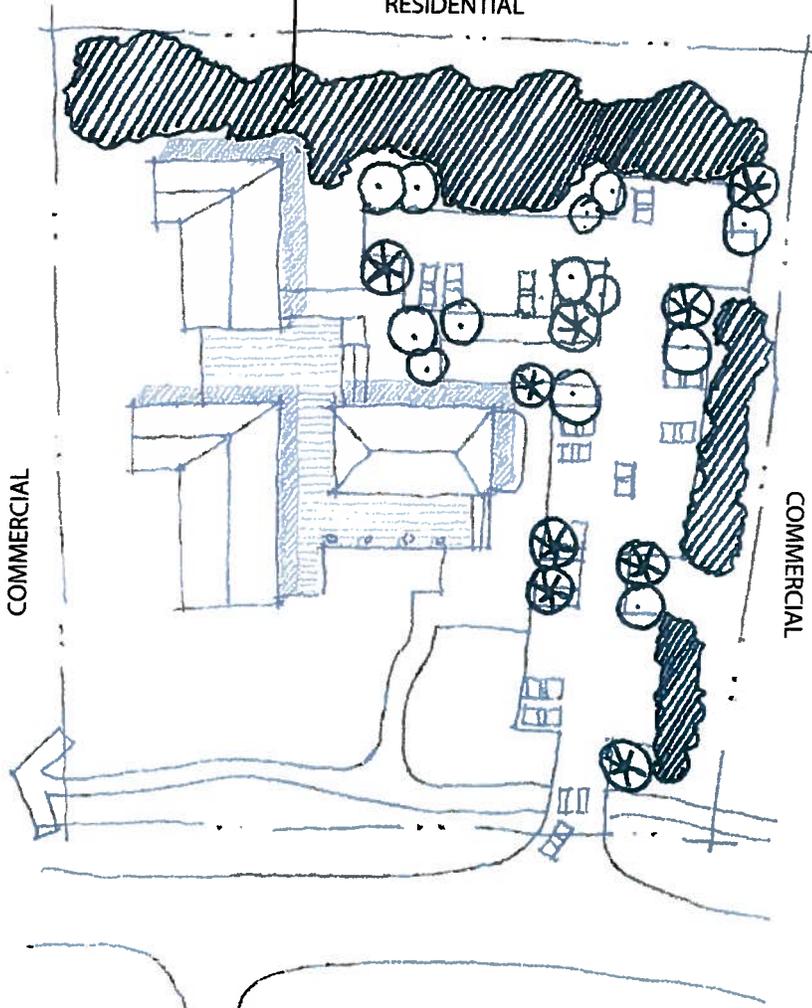
Design Guidelines

Reference Land Development Code

The following site plan illustrates important design features

Provide landscape buffer and setbacks to screen residential uses from negative impacts of commercial development.

RESIDENTIAL



Section 126-1029 (e.) - Landscaping, Buffering and Screening.

In addition to the vegetation buffers and parking area vegetation required for commercial uses, by Chapter 122, Article II, Division 2, courtyards and lands around buildings are to be landscaped. Specific and detailed landscape plans are required for buffering and screening adjacent residential uses from negative visual and physical impacts of the commercial land uses. Side and rear yard setbacks may have to be increased to provide adequate vegetation buffering for abutting and nearby residential land uses.